



FLORHAM PARK CONSTRUCTION DEPARTMENT  
111 RIDGEDALE AVENUE  
FLORHAM PARK, NJ 07932  
973-410-5346 (FAX) 973-410-5490

## **GENERATOR INSTALLATION REQUIREMENTS:**

### **IN EXISTING 1 & 2 FAMILY DWELLINGS:**

1. Completed Construction Permit Application
2. Completed Zoning Application
3. Copy of Survey including Title block with the location of the generator indicating the distance to the property line & structure
4. Completed, Signed & sealed, Electrical & Mechanical Subcode Forms
5. (A Building Subcode is also required if pouring a concrete pad)
6. Specifications of the equipment

### **FOR ALL NEW CONSTRUCTION and ADDITIONS:**

1. Items 1-3 above **and**
2. Completed, Signed & sealed, Electrical, Plumbing and Fire Subcode Forms
3. (A Building Subcode is also required if pouring a concrete pad)
4. Specifications of the equipment



**Florham Park Construction Office**  
**Phone 973-410-5346 Fax 973-410-5490**

Kevin Guilfoyle, Construction Official  
KGuilfoyle@fpboro.net or 973-410-5352

The Construction Department operates weekdays from 9:00 am until 4:30 pm.  
Janet Doherty (JDoherty@fpboro.net) is the Technical Assistant to the Construction Official  
and Florham Park Zoning Official.

**Permit applications accepted daily from 9:00 am until 1:30 pm and from 3:00 until 4:00 pm**

**Inspection requests require** the following information:

- 1) Permit number
- 2) Type of inspection requested (Building, Electrical, Plumbing, Fire)
- 3) Day of the requested inspection.
- 4) Telephone number for contact purposes if your request cannot be accommodated

**Minimum of 24 hour notice for all inspection requests, ALL TIMES ARE APPROXIMATE:**

**Building** inspections are Monday thru Friday 8:30 am to 4 pm

**Fire** inspections are Monday 9am-1pm Tuesday 8am-12 Thursday 12-5 pm Friday 9am-1pm

**Electrical** inspections are Monday thru Friday, 11:00 am to 3 pm.

**Plumbing** inspections are Monday thru Thursday, 11:30 am to 4:30 pm.

**Please be aware that due to the volume of Construction jobs, we cannot give exact times for these inspections.**

**Contractors MUST INSTALL 6 ft. chain link fence, per Ordinance NO. 13-15 around perimeter of excavation site prior to any work. Do NOT remove fence until Construction Official grants approval of removal.**

Required inspections pursuant to N.J.A.C. 5:23-2.18 for all *new* buildings, additions, renovation, alterations:

- 1) Footing inspection-bottom of the trench **PRIOR** to pouring of concrete (**MUST** provide soil compaction report at inspection)
- 2) Foundation inspection **PRIOR** to the placement of backfill.
  - 2 a) Foundation Location Survey **REQUIRED** for new construction **PRIOR** to framing
- 3) Slab inspection **PRIOR** to placement of concrete
- 4) Electrical rough wiring
- 5) Plumbing rough installations
- 6) Fire Rough inspection
- 7) Framing inspections **AFTER** rough electric/plumbing/Fire passed-**PRIOR** to insulation
- 8) Insulation inspection **PRIOR** to sheetrock
- 9) Final electric, final plumbing, final fire inspections
- 10) Final building inspections
- 11) No Certificates of Occupancy shall be issued **PRIOR** to submittal & Approval of Final As Built Survey and final surface grading inspection approvals by Borough Engineer M. Sgaramella (973-410-5473) & Morris County Soil District, Sheila Hall (973-285-2953).

Failure to comply with the above required inspections as indicated in N.J.A.C. 5:23-2.18 will result in administrative penalties of not more than \$2000.00 as permitted in N.J.A.C. 5:23-2.3 lb

**ZONING APPLICATION** Control # \_\_\_\_\_ Date Submitted \_\_\_\_\_

Work Site Address: \_\_\_\_\_ Blk. \_\_\_\_\_ Lot \_\_\_\_\_

Property Owner: \_\_\_\_\_ Phone #: \_\_\_\_\_

Owner's Email: \_\_\_\_\_ Owner's Address \_\_\_\_\_

Agent/Contractor \_\_\_\_\_ Agent/Ctr. Address \_\_\_\_\_

Agent/Contractor Email \_\_\_\_\_ Agent/Ctr. Phone # \_\_\_\_\_

Existing Use \_\_\_\_\_ Proposed Use \_\_\_\_\_

Brief Description of Work: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

I hereby certify that the proposed work is authorized by the owner of record and that I am the owner or have been authorized by the owner, to make this application as his/her agent and we agree to conform to all applicable laws of this jurisdiction. I certify that the answers on this Zoning Application are true and complete to the best of my knowledge.

Signature \_\_\_\_\_ Name(Print) \_\_\_\_\_ Address \_\_\_\_\_

My Lot is on a: Corner Parcel \_\_\_\_\_ Interior Parcel \_\_\_\_\_ Sq. Footage of Lot is \_\_\_\_\_ Zone \_\_\_\_\_

<u>SETBACKS</u>	<u>EXISTING</u>	<u>PROPOSED:</u>	<u>REQUIRED:</u>
Front Yard	_____	_____	_____
Second Front Yard	_____ (If corner parcel)	_____	_____
Rear Yard	_____	_____	_____
Smallest Side Yard	_____	_____	_____
Side Yard Aggregate	_____	_____	_____
Principal Structure: Building Height	_____	_____	_____

Ground Floor: Existing: \_\_\_\_\_ Sq. ft. Proposed \_\_\_\_\_ Sq. Ft. Total of Both \_\_\_\_\_ Sq. Ft.

\*\*\*% of Lot Covered by Building Structures (Including roof overhangs, sheds & detached Bldgs) \_\_\_\_\_%

(SEE PAGE 2 for calculation worksheet)

\*\*\*% of Improved Lot Coverage \_\_\_\_\_% (Includes Building Structures and everything else i.e. driveways, walkways, decks, patios etc.) (SEE PAGE 2 for calculation worksheet)

**A sealed survey, less than 10 years old, MUST be submitted with all applications**

**NOTE: FOUNDATION LOCATION SURVEY AND ELEVATION HEIGHT MUST BE SUBMITTED PRIOR TO FRAMING**

Fencing: Type: \_\_\_\_\_ Height \_\_\_\_\_

Proposed Setbacks: Side Yard \_\_\_\_\_ Rear Yard \_\_\_\_\_ Front Yard \_\_\_\_\_

(Minimum six inches inside property line for side & rear yard)

Patio: \_\_\_\_\_ Sq. Ft. Swimming Pool: In Ground \_\_\_\_\_ Above Ground \_\_\_\_\_

Proposed Setbacks: Left Side Yard \_\_\_\_\_ Right Side Yard \_\_\_\_\_ Rear Yard \_\_\_\_\_

**WORKSHEET**

Description	Existing(SF)	Proposed(SF)	Required	Comments/Notes
Main Dwelling including ALL roofed area WITH overhangs	_____	_____	_____	_____
Accessory Buildings including ALL roofed area with overhangs	_____	_____	_____	_____
*TOTAL BUILDING AREA	_____	_____	_____ (SF)	_____
Accessory Structure POOL including coping	_____	_____	_____ (SF)	_____
Accessory Structure DECK	_____	_____	_____ (SF)	_____
Accessory Structure PATIO	_____	_____	_____ (SF)	_____
Driveway	_____	_____	_____ (SF)	_____
Walkways	_____	_____	_____ (SF)	_____
Equipment i.e AC/Generator/pool equipment etc.	_____	_____	_____ (SF)	_____
Other _____	_____	_____	_____ (SF)	_____
Other _____	_____	_____	_____ (SF)	_____
Other _____	_____	_____	_____ (SF)	_____
**TOTAL IMPROVED AREA including building area above	_____	_____	_____ (SF)	_____

This application is Approved \_\_\_\_\_ DENIED \_\_\_\_\_ Control # \_\_\_\_\_

Application Fee \$ \_\_\_\_\_ Received Date \_\_\_\_\_ Check# \_\_\_\_\_ Cash \_\_\_\_\_

Zoning Officer: \_\_\_\_\_ Date \_\_\_\_\_

Janet L. Doherty, Zoning Officer



# ELECTRICAL SUBCODE TECHNICAL SECTION



**A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.**

Block \_\_\_\_\_ Lot \_\_\_\_\_  
Work Site Location \_\_\_\_\_  
Qualification Code \_\_\_\_\_

Owner in Fee: \_\_\_\_\_  
Tel. (\_\_\_\_) \_\_\_\_\_ e-mail \_\_\_\_\_  
Address \_\_\_\_\_  
Contractor: \_\_\_\_\_ Tel. (\_\_\_\_) \_\_\_\_\_  
Address \_\_\_\_\_ e-mail \_\_\_\_\_

Contractor License No. \_\_\_\_\_ Exp. Date \_\_\_\_\_  
Home Improvement Contractor Registration No. or Exemption Reason (if applicable): \_\_\_\_\_  
Federal Emp. ID No. \_\_\_\_\_ FAX: (\_\_\_\_) \_\_\_\_\_

**B. ELECTRICAL CHARACTERISTICS**  
Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
[ ] Pole/Pad # \_\_\_\_\_ [ ] Temporary [ ] Other \_\_\_\_\_  
Building Occupied as \_\_\_\_\_ Utility Co. \_\_\_\_\_  
Est. Cost of Elec. Work \$ \_\_\_\_\_

**JOB SUMMARY (Office Use Only)**

PLAN REVIEW	INSPECTIONS	Dates (Month/Day)
[ ] No Plans Required	Type:	Failure Approval Initial
[ ] Partial - Underslab Utilities Approved	Rough	
Date: _____ Approved by: _____	Barrier-Free	
[ ] Electric Plans Approved	Trench	
Date: _____ Approved by: _____	Temp. Serv.	
Joint Plan Review Required:	Constr. Serv.	
[ ] Bldg. [ ] Plumb. [ ] Fire. [ ] Elev.	TCO	
SUBCODE APPROVAL for PERMIT	Other	
Date: _____	Service	
Approved by: _____	Final	
SUBCODE APPROVAL for CERTIFICATE	Barrier-Free	
[ ] CO [ ] CCO [ ] CA	Temp. Cut-in-Card Date Issued	
Date: _____	Final Cut-in-Card Date Issued	
Approved by: _____	Annual Pool Inspection	
	Date of Grounding and Bonding	
	Certification	

U.C.C. F120 (rev. 11/08) Internet version  
Applicant: When submitting this form to your Local Construction Code Enforcement Office, please provide one original plus three photocopies.

Date Received \_\_\_\_\_  
Control # \_\_\_\_\_  
Date Issued \_\_\_\_\_  
Permit # \_\_\_\_\_

**C. CERTIFICATION IN LIEU OF OATH**  
I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.  
Applicant sign/Contractor sign and seal here: \_\_\_\_\_

Print name here: \_\_\_\_\_  
[ ] Licensed Elec. Contractor [ ] Certifd Landscape Irrigation Contr'r [ ] Exempt Applicant

### D. TECHNICAL SITE DATA

QTY.	SIZE	ITEMS	FEE (Office Use Only)
_____	_____	Lighting Fixtures	_____
_____	_____	Receptacles	_____
_____	_____	Switches	_____
_____	_____	Detectors	_____
_____	_____	Light Poles	_____
_____	_____	Motors—Fract. HP	_____
_____	_____	Emergency & Exit Lights	_____
_____	_____	Communications Points	_____
_____	_____	Alarm Devices/F.A.C. Panel	_____
_____	_____	<b>TOTAL NUMBERS</b>	\$ _____
_____	_____	Pool Permit/with UW Lights	_____
_____	_____	Storable Pool/Spa/Hot Tub	_____
_____	_____	KW Elec. Range/Receptacle	_____
_____	_____	KW Oven/Surface Unit	_____
_____	_____	KW Elec. Water Heater	_____
_____	_____	KW Elec. Dryer/Receptacle	_____
_____	_____	KW Dishwasher	_____
_____	_____	HP Garbage Disposal	_____
_____	_____	KW Central A/C Unit	_____
_____	_____	HP/KW Space Heater/Air Handler	_____
_____	_____	KW Baseboard Heat	_____
_____	_____	HP Motors 1/+ HP	_____
_____	_____	KW Transformer/Generator	_____
_____	_____	AMP Service	_____
_____	_____	AMP Subpanels	_____
_____	_____	AMP Motor Control Center	_____
_____	_____	KW Elec. Sign/Outline Light	_____

Administrative Surcharge	\$ _____
Minimum Fee	\$ _____
State Permit Surcharge Fee	\$ _____
<b>TOTAL FEE</b>	<b>\$ _____</b>



# MECHANICAL INSPECTION TECHNICAL SECTION



**A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.**

Block \_\_\_\_\_ Lot \_\_\_\_\_ Qualification Code \_\_\_\_\_  
Work Site Location \_\_\_\_\_

Owner in Fee: \_\_\_\_\_ e-mail \_\_\_\_\_

Tel. \_\_\_\_\_

Address \_\_\_\_\_ street \_\_\_\_\_ municipality \_\_\_\_\_ zip code \_\_\_\_\_

Contractor: \_\_\_\_\_ Tel. \_\_\_\_\_

Address \_\_\_\_\_ e-mail \_\_\_\_\_

Contractor License No. \_\_\_\_\_ Exp. Date \_\_\_\_\_

Home Improvement Contractor Registration No. or Exemption Reason \_\_\_\_\_

Federal Emp. ID No. \_\_\_\_\_ FAX: \_\_\_\_\_

## B. MECHANICAL CHARACTERISTICS

**Use Group Present:** R-3-or R-5

**Heating System work:**  New or  Modification to Existing or  Conversion or  Replacement

Type:  Hydronic  Hot Air

Fuel Type:  Gas  Oil  Electric  Solar  Other \_\_\_\_\_

Estimated Cost of Mechanical Work \$ \_\_\_\_\_

## JOB SUMMARY (Office Use Only)

No Plans Required

Mechanical Plans Approved

Date: \_\_\_\_\_ Approved by: \_\_\_\_\_

Joint Plan Review Required: \_\_\_\_\_

Bldg.  Elec.  Plumb.  Fire.

Elev. \_\_\_\_\_

SUBCODE APPROVAL for PERMIT

Date: \_\_\_\_\_ Approved by: \_\_\_\_\_

Approved by: \_\_\_\_\_

Approved by: \_\_\_\_\_

Approved by: \_\_\_\_\_

Approved by: \_\_\_\_\_

Date Received  
Control #

Date Issued  
Permit #

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Applicant sign/Contractor sign and seal here: \_\_\_\_\_

Print name here: \_\_\_\_\_

Licensed Contractor  Exempt Applicant

## D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

## FIXTURE/EQUIPMENT

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
_____	Water Heater	_____
_____	Fuel Oil Piping Connections	_____
_____	Gas Piping Connections	_____
_____	Steam Boiler	_____
_____	Hot Water Boiler	_____
_____	Hot Air Furnace	_____
_____	Oil Tank	_____
_____	LPG Tank	_____
_____	Fireplace	_____
_____	Generator	_____
_____	Other	_____

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 State Permit Surcharge Fee \$ \_\_\_\_\_  
**TOTAL FEE \$ \_\_\_\_\_**

## Placement of Standby Generator to REDUCE THE RISK OF FIRE

The National Fire Protection Association (NFPA) standard NFPA 37 establishes criteria for minimizing the hazard of fire during the installation and operation of stationary combustion engines. NFPA 37 limits the spacing of an enclosed generator from openings in walls, structures and combustible materials outside the enclosure.

The placement requirements provided are based on compliance to NFPA 37 2010 section 4.1.4 and a full-scale demonstration fire test. Details of compliance testing can be found in section National Fire Protection Association (NFPA) standard NFPA 37 requirements and testing.

**▲ WARNING** Exhaust heat/gases could ignite combustibles or structures resulting in death, serious injury and/or property damage.

- DO NOT place weatherproof enclosure opposite exhaust side closer than 18 inches (0.5 m) from any structure.
- Exhaust outlet side of weatherproof enclosure must have at least 5 ft (1.5 m) minimum clearance from any structure, shrubs, trees or any kind of vegetation.
- Standby generator weatherproof enclosure must be at least 5 ft (1.5 m) from windows, doors, any wall opening, shrubs or vegetation over 12 inches (30.5 cm) in height.
- Standby generator weatherproof enclosure must have a minimum of 4 feet (1.2 m) overhead clearance from any structure, overhang or trees.
- DO NOT place weatherproof enclosure under a deck or other type of structure that may confine airflow.
- USE ONLY flexible steel fuel line provided. Connect provided fuel line to generator, DO NOT use with or substitute any other flexible fuel line.
- Smoke detector(s) MUST be installed and maintained indoors according to the manufacturer's instructions/ recommendations. Carbon monoxide alarms cannot detect smoke.
- DO NOT place weatherproof enclosure in manner other than shown in illustrations.

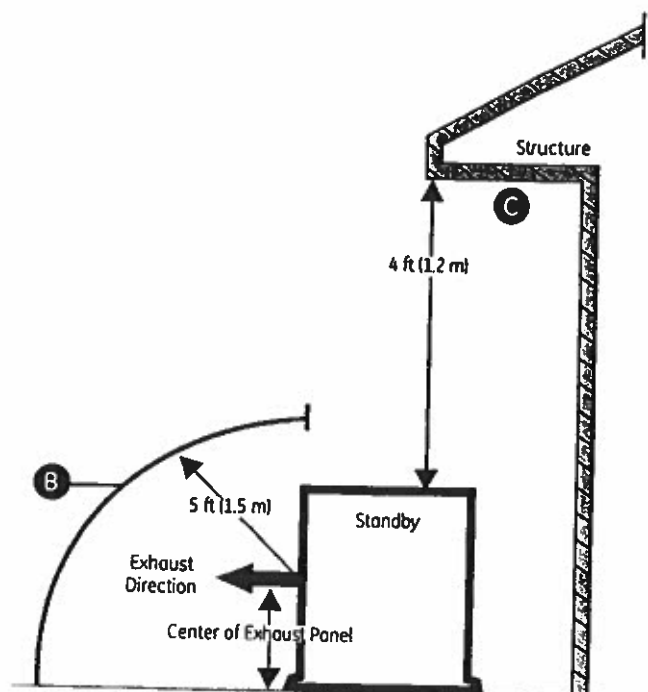
Examples of standby generator locations to reduce the risk of fire:

Legend for Generator Locations to reduce the risk of fire.

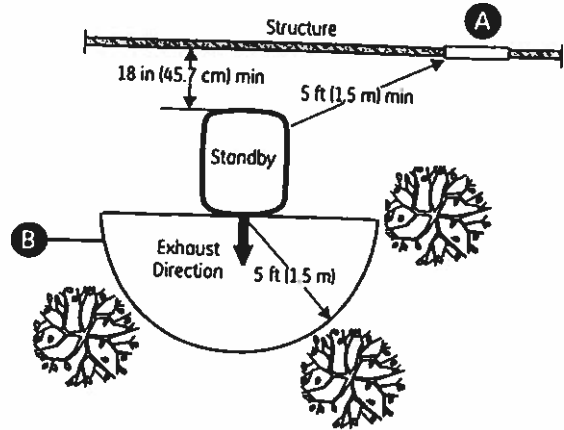
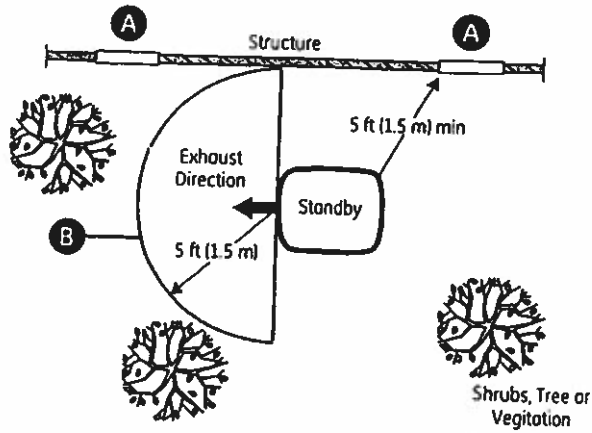
- A** Standby weatherproof enclosure must be at least 5 ft (1.5 m) from windows, doors, any wall opening, shrubs or vegetation over 12 inches (30.5 cm) in height.
- B** Exhaust outlet side of weatherproof enclosure must have at least 5 ft (1.5 m) minimum clearance from any structure, shrubs, trees or any kind of vegetation.
- C** Standby weatherproof enclosure must have a minimum of 4 feet (1.2 m) overhead clearance from any structure, overhang or trees.

**NOTICE** DO NOT place weatherproof enclosure under a deck or other type of covered structure that may confine airflow.

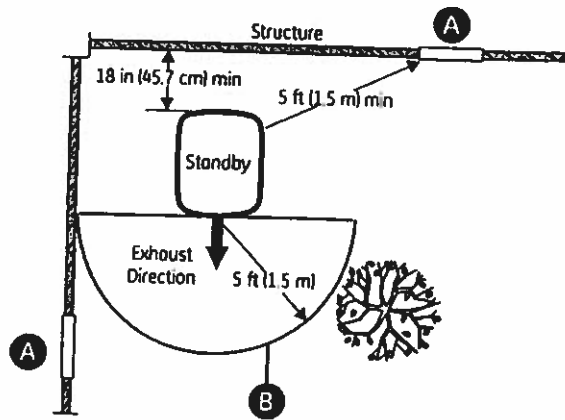
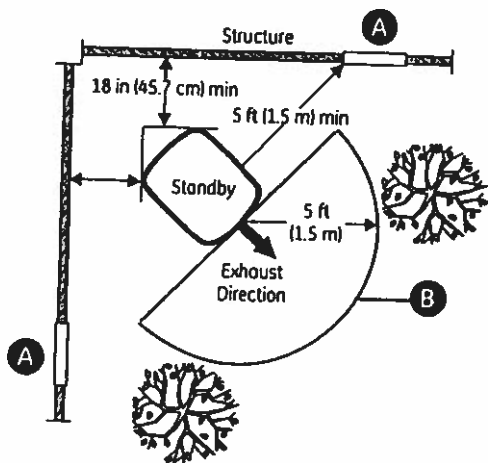
Vertical Clearances



## Single Structure Installations



## Two Structure Installations



### Legend for Generator Locations to reduce the risk of fire.

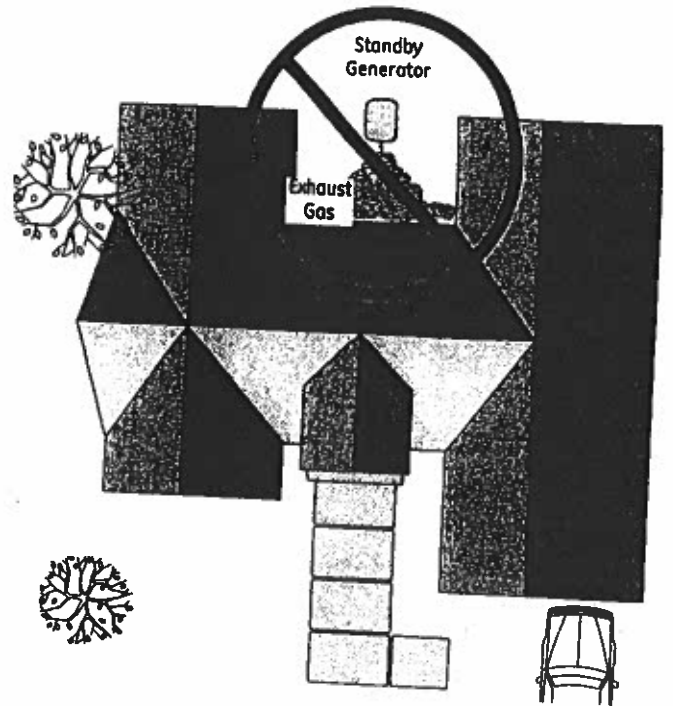
- A** Standby weatherproof enclosure must be at least 5 ft (1.5 m) from windows, doors, any wall opening, shrubs or vegetation over 12 inches (30.5 cm) in height.
- B** Exhaust outlet side of weatherproof enclosure must have at least 5 ft (1.5 m) minimum clearance from any structure, shrubs, trees or any kind of vegetation.
- C** Standby weatherproof enclosure must have a minimum of 4 feet (1.2 m) overhead clearance from any structure, overhang or trees.

**NOTICE DO NOT** place weatherproof enclosure under a deck or other type of covered structure that may confine airflow.



- Direct the standby generator exhaust away from or parallel to the building or structure. DO NOT direct the generator exhaust towards a potentially occupied building, structure, windows, doors, ventilation intakes, soffit vents, crawl spaces, open garage doors or other openings where exhaust gas could accumulate and enter inside or be drawn into a potentially occupied building or structure.

- DO NOT place standby generator in any area where leaves or debris normally accumulates. Position standby generator in an area where winds will carry the exhaust gas away from any potentially occupied building or structure.



## Other General Location Guidelines

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- Place the standby generator in a prepared location that is flat and has provisions for water drainage.
- Install the standby generator in a location where sump pump discharge, rain gutter down spouts, roof run-off, landscape irrigation, or water sprinklers will not flood the unit or spray the enclosure and enter any air inlet or outlet openings.
- Install the standby generator where it will not affect or obstruct any services (including covered, concealed and underground), such as telephone, electric, fuel (natural gas / LPG vapor), irrigation, air conditioning, cable, septic, sewer, well and so forth.
- Install the standby generator where leaves, grass, snow, etc will not obstruct air inlet and outlet openings. If prevailing winds will cause blowing or drifting, you may need to construct a windbreak to protect the unit.

## National Fire Protection Association (NFPA) Standard NFPA 37 Requirements and Testing

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### Requirements:

NFPA 37 2010, section 4.1.4, Engines Located Outdoors. Engines, and their weatherproof housings if provided, that are installed outdoors shall be located at least 1.5m (5 ft) from openings in walls and at least 1.5 m (5 ft) from structures having combustible walls. A minimum separation shall not be required where either of the following conditions exist:

1. The adjacent wall of the structure has a fire resistance rating of at least 1 hour.
2. The weatherproof enclosure is constructed of noncombustible materials and it has been demonstrated that a fire within the enclosure will not ignite combustible materials outside the enclosure. \*

\* Annex A Explanatory Material

A.4.1.4 (2) Means of demonstrating compliance are by means of full-scale fire tests or by calculation procedures, such as those given in NFPA 555, *Guide on Methods for Evaluating Potential for Room Flashover*.

To comply with condition 2 above the weatherproof enclosure has been constructed completely of non-combustible materials and full-scale fire tests have been conducted to demonstrate that a fire within the enclosure will not ignite combustible materials outside the enclosure.

A U.S. Department of Labor Occupational Safety & Health Administration (OSHA) Nationally Recognized Testing Laboratory (NRTL) performed full scale fire demonstration testing. This 3rd party independent NRTL evaluated many worst-case ignition scenarios. The results of the demonstration testing concluded that a fire within the enclosure would not ignite combustible materials outside the enclosure.