

PROPOSED LIMIT OF DISTURBANCE ENROACHES INTO THE TEXAS EASTERN EASEMENT AREA THEREFORE PROPER APPROVAL MUST BE OBTAINED FROM TEXAS EASTERN TRANSMISSION CORP. PRIOR TO ANY LAND DISTURBANCE OCCURRING IN THIS AREA.

PROPOSED LIMIT OF DISTURBANCE DISTURBANCE AREA = 1918 S.F.

PROPOSED POOL AREA = 362 S.F. TOP COPING=98.6'

REMOVE 264 S.F. OF EXISTING ASPHALT DRIVEWAY AREA.

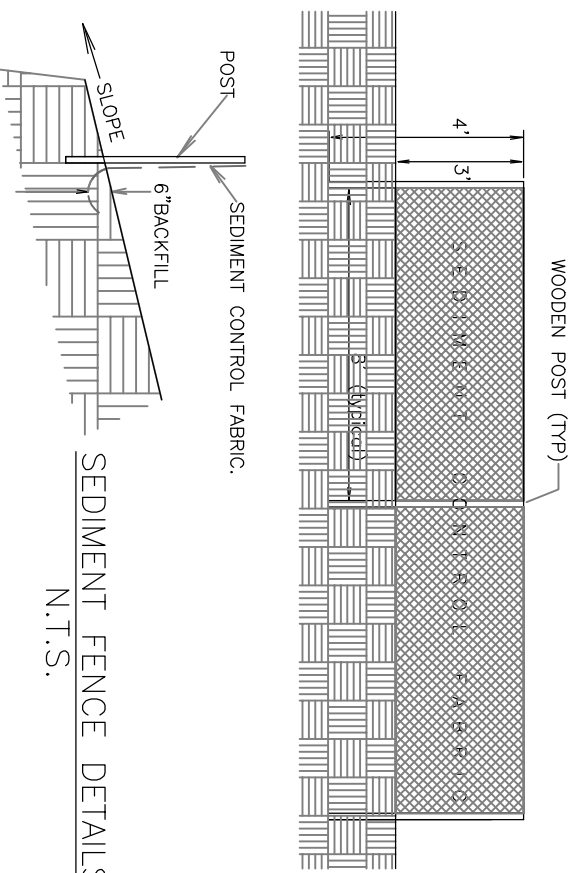
N73°07'56"E

130.00'

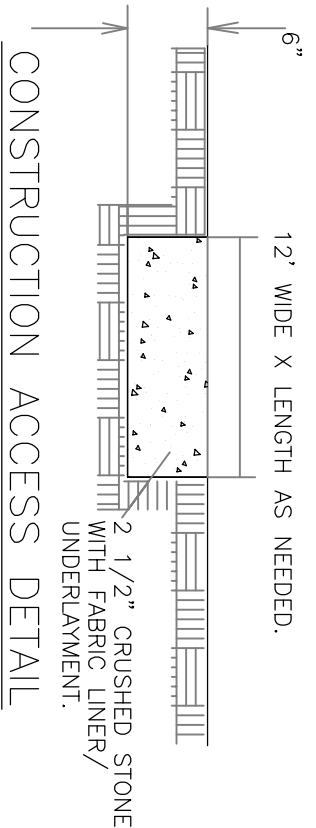
PROPOSED FENCE

EXISTING SHED TO BE REMOVED

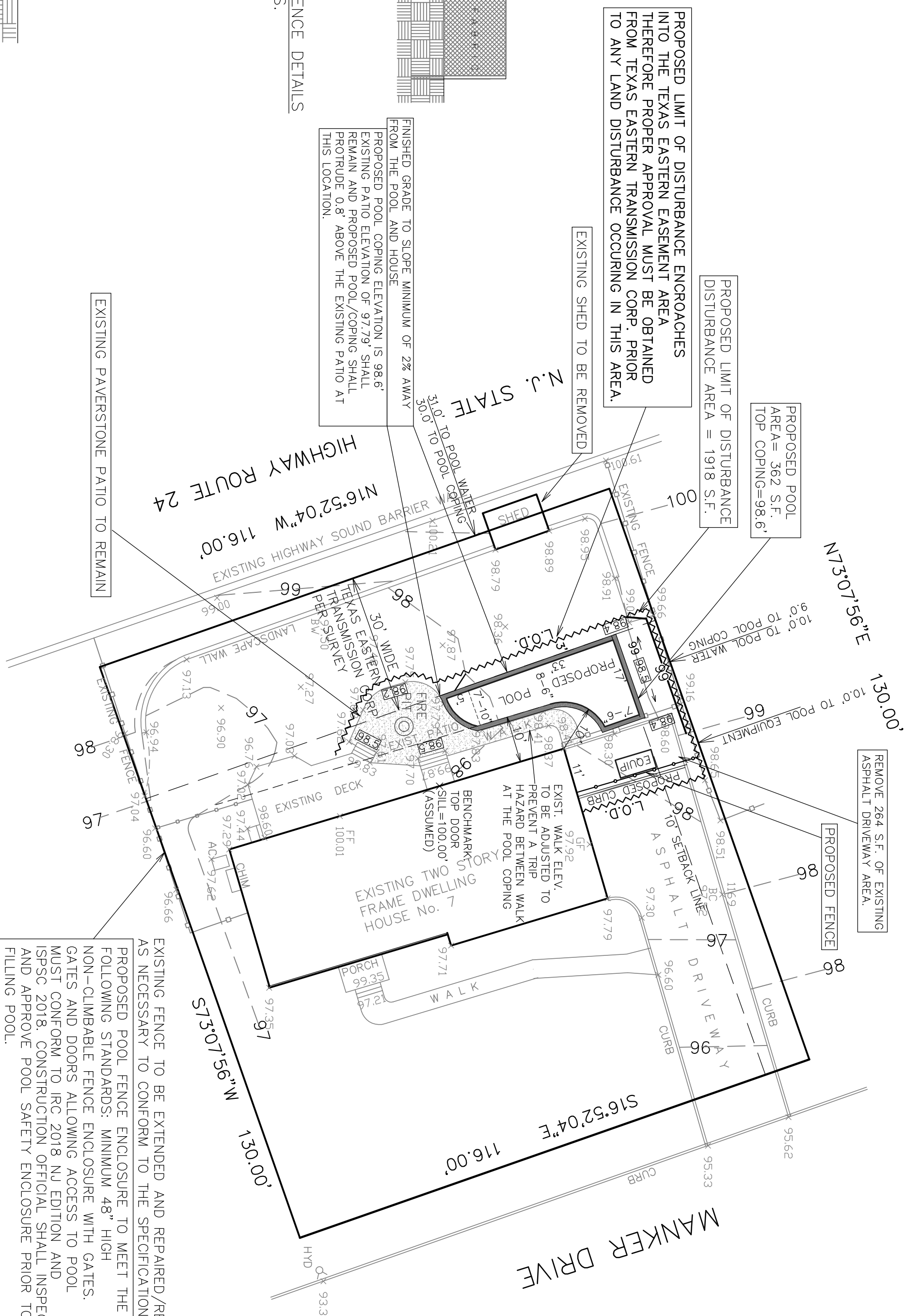
FINISHED GRADE TO SLOPE MINIMUM OF 2% AWAY FROM THE POOL AND HOUSE
PROPOSED POOL COPING ELEVATION IS 98.6'
EXISTING PATIO ELEVATION OF 97.79' SHALL REMAIN AND PROPOSED POOL COPING SHALL PROTRUDE 0.8' ABOVE THE EXISTING PATIO AT THIS LOCATION.



SEDIMENT FENCE DETAILS
N.T.S.



CONSTRUCTION ACCESS DETAIL
N.T.S.



EXISTING FENCE TO BE EXTENDED AND REPAIRED/REPLACED AS NECESSARY TO CONFORM TO THE SPECIFICATIONS BELOW:
PROPOSED POOL FENCE ENCLOSURE TO MEET THE FOLLOWING STANDARDS: MINIMUM 48" HIGH NON-CLIMBABLE FENCE ENCLOSURE WITH GATES, GATES AND DOORS ALLOWING ACCESS TO POOL MUST CONFORM TO IRC 2018 NJ EDITION AND ISPSC 2018. CONSTRUCTION OFFICIAL SHALL INSPECT AND APPROVE POOL SAFETY ENCLOSURE PRIOR TO FILLING POOL.

COVERAGE AREA SUMMARY:

ZONE: R-15
LOT AREA= 15,079 S.F.+ (PER SURVEY DIMENSIONS)
Max. Allowable Building Coverage = 15% = 2,261 s.f.
Max. Allowable Improvement Lot Coverage = 30% = 4,524 s.f.

DESCRIPTION	EXISTING	PROPOSED
HOUSE	2416 SF	2416 SF
HOUSE ROOF OVERHANGS	214 SF	214 SF
FRONT COVERED PORCH	55 SF	55 SF
TOTAL BUILDING COVERAGE=	2685 SF	2685 SF
SHED	0 SF	0 SF
DRIVEWAY (PAVED/CURB)	1724 SF	1460 SF
FRONT WALK	283 SF	283 SF
REAR DECK/STEPS	483 SF	483 SF
REAR PATIO/STEPS	413 SF	413 SF
LANDSCAPE WALL	116 SF	116 SF
CHIMNEY & AC UNIT	19 SF	19 SF
POOL EQUIPMENT	0 SF	392 SF
POOL COPING	0 SF	32 SF
TOTAL IMPROVED LOT COVERAGE	5,819 SF	5,989 SF
EXISTING BUILDING COVERAGE=	17.81%	
PROPOSED BUILDING COVERAGE=	17.81%	
EXISTING IMPROVED LOT COVERAGE=	38.59%	
PROPOSED IMPROVED LOT COVERAGE=	39.72%	

LEGEND:

- TREE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED POOL PATIO
- PROPOSED FENCE
- EXISTING FENCE
- LIMIT OF DISTURBANCE (SILT FENCE ALONG DOWNHILL SIDE AND CONST. SAFETY FENCE AROUND EXCAVATION AREA)

- NOTES:**
- THIS MAP IS A POOL GRADING PLAN ONLY AND NOT A BOUNDARY SURVEY. ALL BOUNDARY AND BUILDING LOCATION INFORMATION IS TAKEN FROM A SURVEY PREPARED BY MARC J. CIFONE, PLS, LAKELAND SURVEYING, ROCKAWAY, NJ, AND DATED SEPTEMBER 19, 2014. SURVEY PROVIDED BY PROPERTY OWNER.
 - POOL AND FENCE CONSTRUCTION MUST CONFORM WITH ALL PERTINENT STATE AND LOCAL REGULATIONS, OR RECEIVING A CERTIFICATE OF OCCUPANCY.
 - THE LOCATION OF ALL OVERHEAD OR SUBSURFACE UTILITIES, ELEC., GAS, WATER, DRAINAGE, SPRINKLERS, ETC. AND ANY OTHER SUBSURFACE CONDITIONS MAY NOT BE SHOWN ON THIS PLAN. CONTRACTOR REQUIRED TO HAVE NJ ONE CALL UTILITY MARK-OUT PRIOR TO ANY EXCAVATION.
 - TOWNSHIP MUST APPROVE POOL ENCLOSURE/BARRIER PRIOR TO FILLING POOL OR GRANTING A CERTIFICATE OF OCCUPANCY. ALL FENCE GATES SHALL BE SELF-CLOSING AND SELF-LATCHING.
 - ALL POOL OPERATIONS SHALL CONFORM TO NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AND ANY OTHER PERTINENT GOVERNMENT REGULATIONS.
 - EXISTING TOPOGRAPHY IS BASED ON AN ASSUMED VERTICAL DATUM AS SHOWN.
 - THIS PLAN DOES NOT INCLUDE THE STRUCTURAL DESIGN OR SPECIFICATIONS FOR THE POOL.
 - THE ESTIMATED SOIL VOLUMES ARE 69 C.Y. OF EXCESS EXCAVATED SOIL TO BE EXPORTED FROM THE SITE. SOIL VOLUME ESTIMATE IS ONLY FOR PERMIT PURPOSES. CONTRACTOR TO DETERMINE VOLUME FOR ALL OTHER PURPOSES.
 - THIS PLAN DOES NOT INCLUDE ANY ENVIRONMENTAL INFORMATION OR EVALUATION OF THE SITE.

POOL GRADING PLAN

for
Franco Residence
situated in
BOROUGH OF FLOHAM PARK,
UNION COUNTY, NEW JERSEY,
Being known as Tax Lot 45, Block 2703

CERT. AUTH: #246428280500 NJPLS & PE #2468031727200

MARK J. MANTYLA, MEMBER
PROFESSIONAL LAND SURVEYOR & ENGINEER
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DATE: June 04, 2020

REVISED: September 11, 2020 - add house roof overhang elev.

REVISED: September 15, 2020 - existing patio elev.

REVISED: October 07, 2020 - coverage area summary.

REVISED: November 04, 2020 - coverage area summary.

SCALE: 1inch=20 feet.

